



REPORT FOR

CONFIDENTIAL MEETING OF COUNCIL

MEETING DATE

12 DECEMBER 2023

RECORD NO:

D23/99426

REPORT OF:

STRATEGY & FINANCE

TITLE:

**TILLEY RECREATION PARK CLUBROOM CONSTRUCTION -
TENDER RECOMMENDATION**

1. *That pursuant to Section 90(2) of the Local Government Act 1999, the Council orders that the public (except staff on duty) be excluded from the meeting to enable discussion on the Tilley Recreation Park Clubroom Construction - Tender Recommendation.*
2. *That the Council is satisfied that pursuant to section 90(3)(b) and (k) of the Local Government Act 1999, the information to be received, discussed or considered in relation to this item is:*
 - *information the disclosure of which could reasonably be expected to confer a commercial advantage on a person with whom the council is conducting, or proposing to conduct, business, or to prejudice the commercial position of the council; AND*
 - *information the disclosure of which would, on balance, be contrary to the public interest; AND*
 - *tenders for the supply of goods, the provision of services or the carrying out of works;*
 - *on the basis that the report includes details regarding commercial negotiations and tender evaluations, which could compromise effective negotiation for achieving the best outcome for Council and the community.*
3. *In addition, the disclosure of this information would, on balance, be contrary to the public interest. The public interest in the public access to the meeting has been balanced against the public interest in the continued non-disclosure of the information. The benefit to the public at large resulting from withholding the information outweighs the benefit to it of disclosure of the information. The Council is satisfied that the principle that the meeting be conducted in a place open to the public has been outweighed in the circumstances on the basis that early release of this information could compromise effective negotiation for achieving the best outcome for Council and the community.*

PURPOSE

To consider the awarding of a Lump Sum contract for the Tilley Recreation Park Clubroom Construction noting that the award is required to occur prior to the end of this calendar year to allow for the pricing to be maintained and for construction to commence early in the new year.

RECOMMENDATION

That Council having considered the report titled “Tilley Recreation Park Clubroom Construction – Tender Recommendation” dated 12 December 2023:

1. Approves the award of the Tilley Recreation Park Clubroom Construction to Sarah Constructions, subject to final negotiations and clarifications, for a value of no more than \$5,761,367
2. Approves the allocation of an additional \$545K from interest earned and saved funds which have been previously, and will continue to be, transferred in budget reviews to the building future fund capital works budget line as detailed in Table 1 of Section 3 of this report.

RETENTION OF CONFIDENTIAL DOCUMENTS

1. That having considered the agenda item titled “Tilley Recreation Park Clubroom Construction - Tender Recommendation” and dated 12 December 2023 in confidence under section 90(2) & (3) b (i), b (ii) and k and Section 91(7) of the Local Government Act 1999:
 - information the disclosure of which could reasonably be expected to confer a commercial advantage on a person with whom the council is conducting, or proposing to conduct, business, or to prejudice the commercial position of the council; AND
 - information the disclosure of which would, on balance, be contrary to the public interest; AND
 - tenders for the supply of goods, the provision of services or the carrying out of works

the Council pursuant to section 91(7) of the Act orders that the report, attachments and minutes relevant to this item be retained in confidence until once the tender has been awarded and contract signed. or until the Council resolves otherwise, whichever occurs first.

2. That Council gives the power pursuant to Section 91 of the Local Government Act 1999 to the Chief Executive Officer to revoke the order made under Section 91 (7) of the Local Government Act 1999 subject to the Chief Executive Officer consulting with the Mayor and reporting to the Elected Members of the revocation.

1. BACKGROUND

The Tilley Recreation Park Clubroom is the first phase of the Tilley Recreation Park Masterplan Project, involving the construction of a two-story clubroom and changeroom building adjacent to the existing soccer pitches, and some improvements to car parking and vehicle access arrangements. Upon completion, the new building will be leased to the Tea Tree Gully City Soccer Club (TTGCSC).

On 14 November 2023 Council endorsed a recommendation to delegate to the CEO to award the tender to another contractor, however that contractor has since withdrawn their tender submission sighting a change in available capacity to deliver the project successfully.

On this basis, at their meeting on 28 November 2023, Council rescinded the above resolution.

2. DISCUSSION

The tender evaluation panel reviewed the remaining tenders. Sarah Construction was the next highest scoring tender. Their lump sum price was \$543,452 above the available construction budget of \$5,217,915.

Sarah Constructions have confirmed their capacity to deliver the project and a willingness to work together to de-scope the project if required to reduce their lump sum price.

The evaluation panel have met with Sarah Constructions, the cost consultant (Rider Levett Bucknall) and architects (Walter Brooke) to explore further options to reduce costs. A number of options were explored that included a combination of reducing the floor area and changes in some design finishes and fixings.

Option 1

This option will result in the project being delivered without significant changes to the current design which is included in Attachment 1.

Cost savings will be limited to minor cosmetic changes such as finishes and fixings.

This option will require up to an additional \$545k of funding to the total project budget which is able to be funded from the building future fund, which has increased due to grant interest saved and interest earned on the funds allocated from this project. The allocation of interest earned is a requirement of the funding agreements. The allocation of interest saved is at Council's discretion, however is reasonable as the interest saved due to timing partially offsets the price increases based on time.

Option 2- amended scope (not recommended)

This option has been included to allow members to be aware that alternative options other than automatically increasing the budget have been considered.

This option aims to deliver the project as close as possible to the total budget identified in the Prudential Review of \$5,817,275. Attachment 2 provides an outline of the potential reductions in scope to reduce costs. Key changes include removal of the keg and storage room, reduced size of function room, removal of a cleaners' room, removal of solar panels and reduction in the width of the balcony.

Initial discussions with the club indicate the option has a number of limitations which may render part of the savings proposed in this option unviable from an optional perspective.

In addition, further or alternative reductions beyond those outlined above are not recommended as they would compromise the objectives of the project and offer diminishing returns as the cost of redesign and lost time cancel out savings.

The total savings have been estimated at approximately \$429,000. However, there would be additional consultant costs to redesign the building that have been estimated at \$75,000, taking the overall project savings to \$354,000. It is also noted that any changes to the design at this stage could delay the commencement of the project while the documentation is updated which could result in higher costs.

Overall, this option prior to price escalations will require up to an additional \$189,452 of funding to the total project budget based on current costs and is likely to incur further escalation due to time delays which are estimated to be between \$200k-\$300k which is approximately \$100k less than the current scope of works. This option is likely to also result in the project not being completed prior to the commencement of the 2025 soccer season.

On this basis this option is not recommended and option 1 is recommended as it will deliver the project as designed with the stakeholders to meet their needs for the next 50 years.

3. FINANCIAL

All figures discussed below refer to total project cost which is made up of the construction contractors lump sum, plus fees and charges, and contingency.

Funding for the project is supported by two State Government grants, with one grant specifically tied to completion of the Project (\$1.5m) and another grant tied to completion of the broader Tilley Masterplan (\$4.75m).

Council's contribution to the project is \$2.86m with a supporting \$50k contribution from the TTGCSC.

If the current project scope was to be delivered with Sarah Constructions as the preferred tenderer, up to an additional \$545k would be required to deliver the project. Staff would continue to work with the contractor and design team to identify value management strategies without significantly impacting the project scope and quality which would be reflected in the final lump sum accepted from Sarah Construction.

The additional funds required under each option presented in this report can be funded through interest earned on the Tilley Recreation Park grant funds (currently \$363k) that will continue to accumulate until the completion of the project.

These funds must be spent on the Tilley Recreation Park project as part of the funding agreement.

In addition, Council has saved \$195k interest on this project since it was first placed in the budget.

Interest earned has been allocated to the building future fund in the capital works budget during budget reviews in 2021,22,23 and interest saved will be allocated in future financial budget reviews.

Table 1: Forecast budget TTSC building

| | \$'000 | Comments |
|---|---------------|---|
| Original budget allocated to building | 5,817 | As per prudential report |
| Interest earned to date | 363 | Actual |
| Interest forecast to be earned for remain part of project | 145 | Conservatively estimated |
| Interest forecast to be saved | 195 | Conservatively estimated |
| Total available | 6,520 | |
| Building budget | | |
| Sarah Constructions contract award | 5,761 | |
| Allocated contingency | 288 | |
| Fees and other expenses | 314 | |
| Subtotal building cost | 6,363 | |
| Remaining funds to be allocated to Tilley master plan budget | 157 | Will be added to funding of \$3,733k allocated for other master plan works. |

4. STRATEGIC OBJECTIVES

Strategic Plan

The following strategic objectives in Council's Strategic Plan 2025 are the most relevant to this report:

| Objective | Comments |
|--|---|
| Community | |
| <i>People feel a sense of belonging, inclusion and connection with the City and the community</i> | The TTGSC and other groups at Tilley will benefit from the new clubroom building. |
| Economy | |
| <i>A local economy that is resilient and thrives, where businesses are supported to grow and prosper, provide local jobs and sustain our community and visitors and utilize technology to improve the livability of our city</i> | As per Council's Procurement policy, tenderers were evaluated for their impact on local businesses and residents. |
| Places | |
| <i>Infrastructure and community facilities are fit for purpose, constructed using sustainable practices and well maintained</i> | The development has been designed in consultation with users to meet their needs. The assets have been designed with a target 50-year life. |
| Leadership | |
| <i>Planning considers current and future community needs</i> | The development has been designed to meet community needs for 50 years. |
| <i>Decision making is informed, based on evidence and is consistent</i> | The tender process complied with Council's Procurement Policy, which endeavours to ensure a consistent, fair and transparent approach. |

Community Land Management Plans

The proposal is consistent with the relevant Community Land Management Plan for the reserve or council facility.

Policies / Strategies

The tender process complied with Council's Procurement Policy, which endeavours to ensure a consistent, fair and transparent approach.

5. LEGAL

A contract for construction will be entered into with the successful contractor and managed by Council.

6. RISK – IDENTIFICATION AND MITIGATION

Risks have been identified in a risk assessment and these have been managed through the tender process and will continue to be managed during the building works.

7. ACCESS AND INCLUSION

The design for the proposed buildings includes all Statutory Requirements & Australian Standards to meet the Disability Discrimination Act 1992.

8. SOCIAL AND COMMUNITY IMPACT

TTGCSC and other users of Tilley Recreation Park will benefit from the new clubroom building.

A project communications plan has been developed to manage the impact to users during construction.

9. ENVIRONMENTAL

The building has been designed to minimise carbon and environmental impacts where feasible.

10. ASSETS

The new assets have been designed with a 50-year asset life.

Once construction is complete, the relevant Asset Management Plans (Buildings and Open Space) will be updated to reflect the new assets constructed through the Project.

The TTGCSC will be required (under a Lease agreement) to manage the appropriate funds to maintain the new Sporting Clubroom asset and provide annual maintenance to items that are agreed upon through the lease agreement.

11. PEOPLE AND WORK PLANS

The awarding of this contract will not alter the current workload for staff.

12. COMMUNITY AND STAKEHOLDER ENGAGEMENT

Community Engagement for the new clubrooms and the required changes to the Community Land Management Plan was undertaken in March 2023. Following this, at its meeting on 9 May 2023, Council endorsed changes to the Tilley Recreation Park Community Land Management Plan to allow for the new clubroom building to be constructed.

Council undertook extensive stakeholder workshops and reviews with the TTGCSC during the design phase and the club has endorsed the design.

13. COMMUNICATIONS OF COUNCIL DECISION

TTGSC will be advised of the scheduled commencement of works and given monthly updates as construction progresses.

14. INTERNAL REPORT CONSULTATION

The following staff have been included in the consultation process in the preparation of this Report.

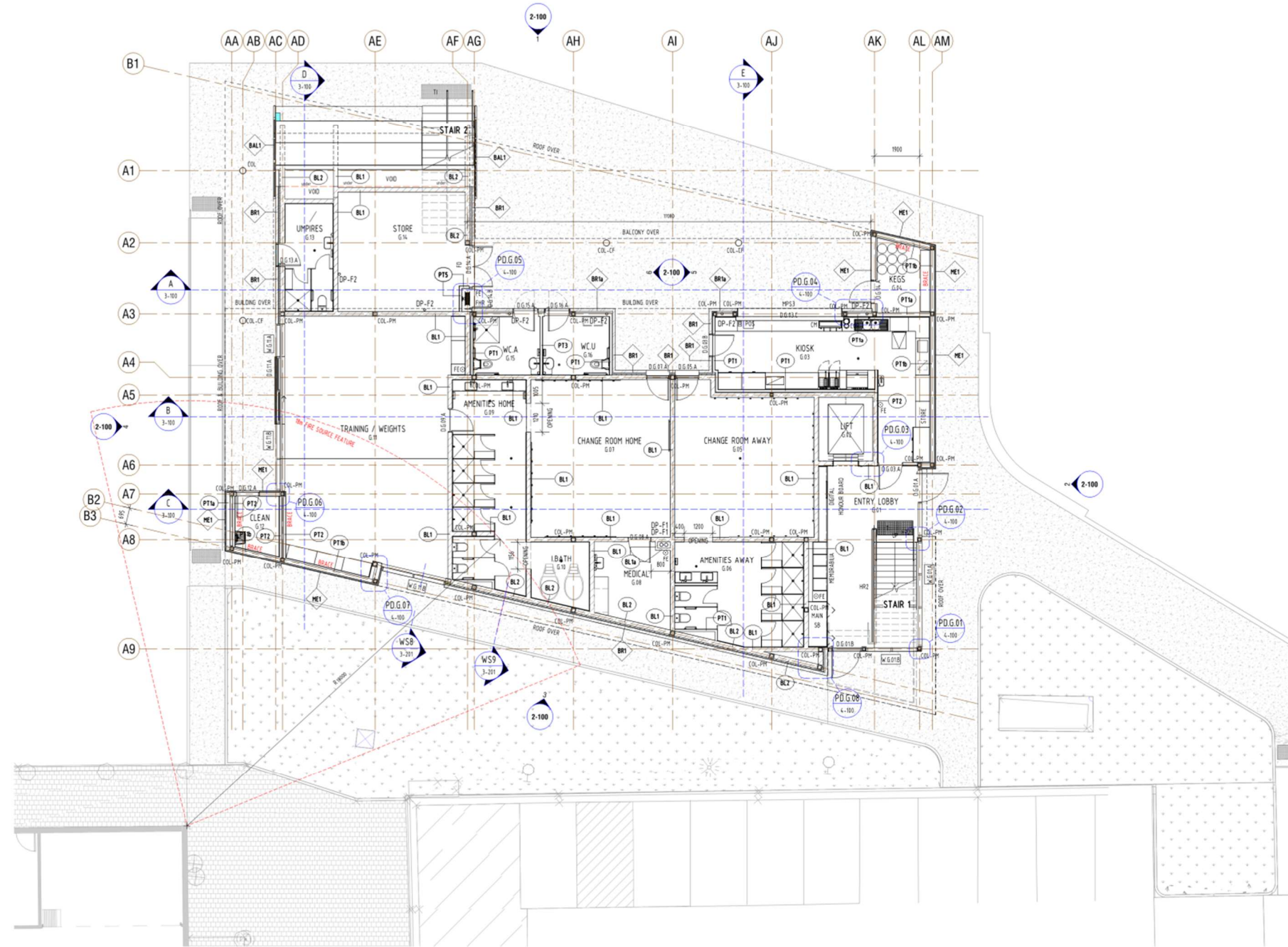
| Name | Position | Consulted about |
|---------------|-----------------------------------|------------------------|
| Claire Victor | Contracts Officer | Procurement Process |
| Rebecca Bains | Manager Finance & Rating Services | Financials |

Attachments

- 1. Tilley Recreation Park Clubroom Design
- 2. Mark up of scope reduction - Tilley Recreation Park Clubroom

Report Authorisers

| | |
|---|-----------|
| Erica Vidinis | |
| Strategic Project and Stakeholder Manager | 8397 7444 |
| Greg Salmon | |
| Manager Project Management Office | 8397 7444 |
| Ryan McMahon | |
| Chief Executive Officer | 8397 7297 |



1 GROUND FLOOR PLAN
1:100

LEGEND - FLOOR PLAN

FFL = Finished Floor Level, FSU=Finished Slab Level

D... door reference, refer to door schedule

W... typical window number, where "M" noted, mirror the configuration

W... external window reference, refer to window schedule

W... internal window reference, full height UND refer to internal elevations

R... riser, refer services drawings

NOTES

- Refer to services drawings to confirm all duct clearances prior to construction.
- Refer to services drawings to confirm all roof/wall/slab penetrations. Provide all necessary flashings/sealants to ensure waterproof seal.
- Wet Areas noted are to include bathrooms, ensuites, WC, kitchen, laundries, cleaners and shower/changeroom areas or similar.
- Refer to Mechanical & Hydraulic Engineer's drawings for location of all handrails.
- Refer to Internal Elevations Legend for Fixtures & Fittings/Equipment codes.

Services

Coordinate all services, stacks, vents, handrails, equipment and associated penetrations on site. Coordinate locations and numbers with services engineers drawings.

Typical Door Setout for Rooms

Note: Contractor to clarify dimension to doors dissimilar to above if not already provided

LEGEND - WALLS / PARTITION NOTES

Wall / Partition Types

No internal linings to wall & partition types when adjacent a duct, riser, void, shaft, cavity or fire cabinet.

1 layer of fibre cement sheeting to be direct stuck to blockwork to the following rooms:

- G06 AMENITIES AWAY
- G09 AMENITIES HOME
- G10 BATH
- G13 UMPIRES
- G15 WCA
- G16 WCA

Fibre cement sheeting can be substituted for plasterboard in the following rooms:

- F01 LOBBY
- F03 STORE
- F10 FUNCTION ROOM
- F13 OFFICE

Contractor to coordinate wall & partition types setout and allow for packing/furring channel, to ensure alignment to all internal and external linings.

Wall Bracing

Provide top of wall stabilisation / bracing to internal walls, typically Refer to structural engineers details for bracing requirements

GENERAL ANNOTATIONS SCHEDULE

| CODE | DESCRIPTION |
|--------|--|
| COL | Column |
| COL-CP | Column Concrete Filled |
| COL-PH | Column with Premix Board Fire Rated Cladding |
| FE | Fire Extinguisher |
| TI | |

BALUSTRADES (PANELS) TYPE SCHEDULE

| CODE | DESCRIPTION |
|------|---|
| BAL1 | Custom steel balustrade with glazed infills as detailed |
| BAL2 | 10mm non thick steel plate balustrade as detailed |

PARTITION TYPE SCHEDULE

| CODE | PARTITION DESCRIPTION | NOTES |
|------|---|--|
| PT1 | Mechure Barrier as spec/Thermal Insulation as spec / 12mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT1a | Mechure Barrier as spec/Thermal Insulation as spec / 150mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT1b | Mechure Barrier as spec/Thermal Insulation as spec / 150mm wide steel stud framing as spec / 150mm top hat framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT2 | 1 x 10mm flush villaboard unless otherwise noted as spec/Acoustic Insulation as spec / 12mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To fresh 100mm above ceiling level, refer acoustic report for further details. Provide insulation as ceiling in accordance with acoustic engineer's specification. |
| PT3 | 2 x 10mm flush villaboard unless otherwise noted as spec/Acoustic Insulation as spec / 12mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above, refer acoustic report for further details. |
| PT5 | 1 x 10mm flush Gyprock Fyrtexk Plasterboard unless otherwise noted as spec/Acoustic Insulation as spec / 12mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To fresh 100mm above ceiling level, refer acoustic report for further details. Provide insulation as ceiling in accordance with acoustic engineer's specification. |
| CODE | WALL TYPE SCHEDULE | |
| | WALL DESCRIPTION | |
| BL1 | 100mm wide concrete block wall to engineers details / | |
| BL1a | 100mm wide concrete block wall to engineers details / | |
| BL2 | 100mm wide concrete block wall to engineers details / 50mm rigid board insulation as spec / | |
| BR1 | Single leaf 100mm wide brick wall / 40mm cavity / | |
| BR1a | Single leaf 100mm wide brick wall / 10mm cavity / | |
| ME1 | 25mm non thick Metal Cladding as spec / 35mm top hat framing as spec / | |
| TL1 | 20mm filling as spec / 175mm precast concrete panels to engineers details, standard grey finish / | |

REFER WD-0-002 - PROJECT LEGEND SHEET FOR ALL LEGENDS

ARCHITECTURE - INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
MASTERPLANNING

contractors must verify all dimensions on the job before commencing work or making shop drawings

| Rev | Date | FOR CONSTRUCTION | Reason for Issue |
|-----|------------|------------------|------------------|
| 1 | 24/11/2023 | | |

TILLEY RECREATION PARK CLUBROOM
CITY OF TEA TREE GULLY
HANCOCK RD & YATALA VALE RD, FAIRVIEW PARK SA 5126
GROUND FLOOR PLAN

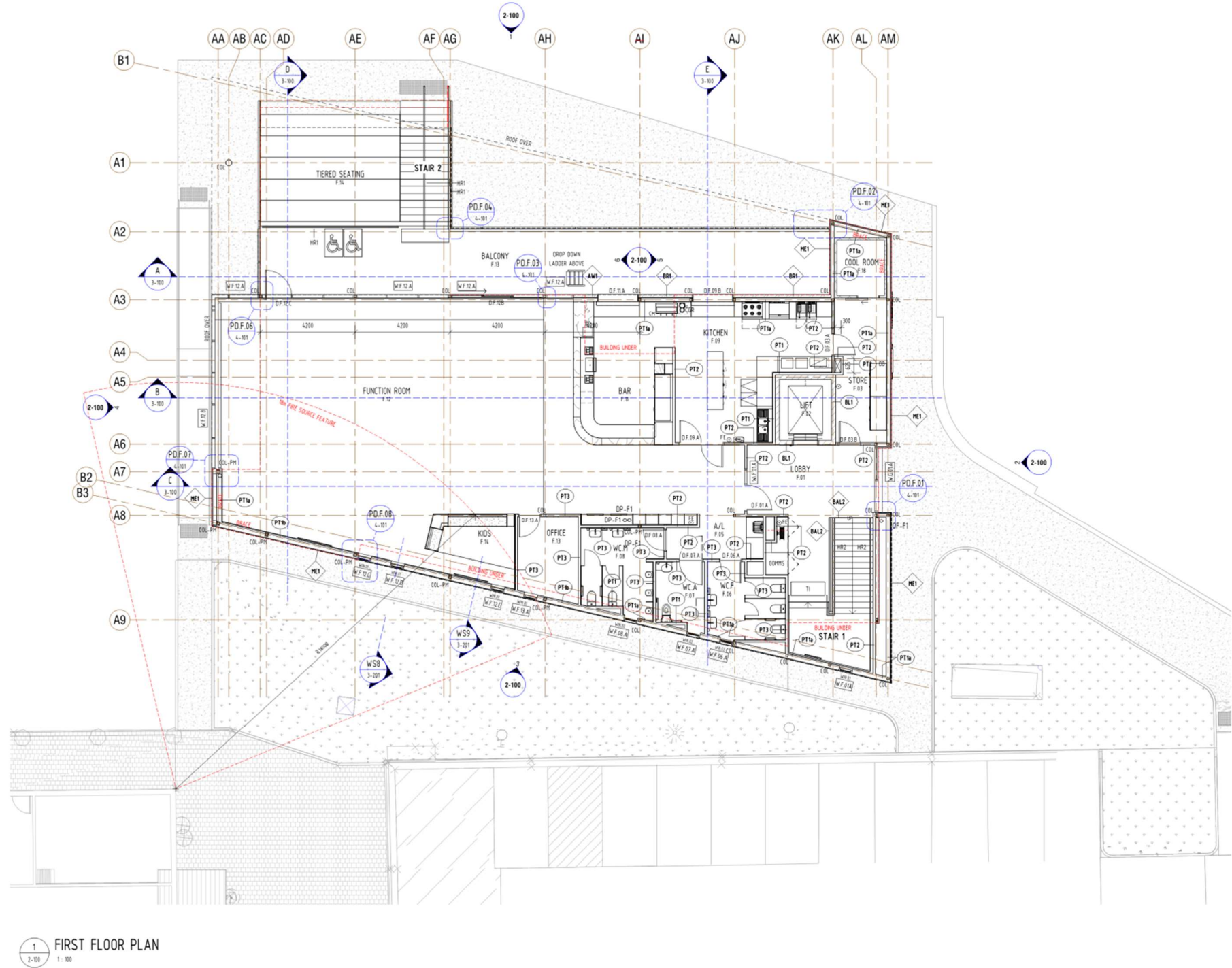
project no: 22-0436
scale: As indicated @ A1
date: 5/05/2023
drawn: MF
sheet no: WD-1-300 revision: 1

FOR CONSTRUCTION

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level 9 25 Franklin st Adelaide SA 5000
telephone 8 8272 4166
email wba@walterbrooke.com.au
www.walterbrooke.com.au
ABN 42 007 918 914

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WALTERBROOKE



1
2-100
FIRST FLOOR PLAN
1:100

LEGEND - FLOOR PLAN

DOORS PFL = Finished Floor Level, FSL=Finished Slab Level
D... door reference, refer to door schedule
W... typical window number, where "W" noted, mirror the configuration
W... external window reference, refer to window schedule
W... internal window reference, full height UNO, refer to internal elevations
R... riser, refer services drawings

NOTES

- Refer to services drawings to confirm all duct clearances prior to construction.
- Refer to services drawings to confirm all roof/slab penetrations. Provide all necessary flashings/sealants to ensure waterproof seal.
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- Refer to Mechanical & Hydraulic Engineer's drawings for location of all tundishes.
- Refer to Internal Elevations Legend for Fixtures & Fittings/Equipment codes.

Services
Coordinate all services, stacks, vents, tundishes, equipment and associated penetrations on site. Coordinate locations and numbers with services engineers drawings.

Typical Door Setout for Rooms

Note: Contractor to clarify dimension to doors dissimilar to above if not already provided

| GENERAL ANNOTATIONS SCHEDULE | |
|------------------------------|---|
| CODE | DESCRIPTION |
| COL | Column |
| COL-PH | Column with Precast Board Fire Rated Cladding |
| PT | Fire Exit/Exit |
| T | |

| PARTITION TYPE SCHEDULE | | |
|-------------------------|--|---|
| CODE | PARTITION DESCRIPTION | NOTES |
| PT1 | Moisture Barrier as spec/Thermal insulation as spec / 12mm wide steel stud framing as spec / 1 x 9mm flush vilaboard (unless otherwise noted) as spec. | To underside of Roof / slab above |
| PT1a | Moisture Barrier as spec/Thermal insulation as spec / 12mm wide steel stud framing as spec / 1 x 9mm flush vilaboard (unless otherwise noted) as spec. | To underside of Roof / slab above |
| PT1b | Moisture Barrier as spec/Thermal insulation as spec / 12mm wide steel stud framing as spec / 1 x 9mm flush vilaboard (unless otherwise noted) as spec. | To underside of Roof / slab above |
| PT2 | 1 x 9mm flush vilaboard (unless otherwise noted) as spec/Acoustic insulation as spec / 12mm wide steel stud framing as spec / 1 x 9mm flush vilaboard (unless otherwise noted) as spec. | To finish 100mm above ceiling level, refer acoustic report for further details. Provide insulation in ceiling in accordance with acoustic engineer's specification. |
| PT3 | 2 x 9mm flush vilaboard (unless otherwise noted) as spec/Acoustic insulation as spec / 12mm wide steel stud framing as spec / 1 x 9mm flush vilaboard (unless otherwise noted) as spec. | To underside of Roof / slab above, refer acoustic report for further details. |
| PT4 | 100mm non wide polyisocyanurate insulation panel by specialist contractor | 2400 high to underside of insulated ceiling. Provide insulation in ceiling in accordance with acoustic engineer's specification. |
| PT5 | 1 x 9mm flush Gyprock Fynchek Plasterboard (unless otherwise noted) as spec/Acoustic insulation as spec / 12mm wide steel stud framing as spec / 1 x 9mm flush vilaboard (unless otherwise noted) as spec. | To finish 100mm above ceiling level, refer acoustic report for further details. Provide insulation in ceiling in accordance with acoustic engineer's specification. |
| CODE | FLOOR TYPE SCHEDULE | |
| HL1 | Handrail type 1 as spec | |
| HL2 | Handrail type 2 as spec | |

| BALUSTRADES (PANELS) TYPE SCHEDULE | |
|------------------------------------|---|
| CODE | DESCRIPTION |
| BAL1 | Custom steel balustrade with glass infill as detailed |
| BAL2 | 100mm non thick steel plate balustrade as detailed |

REFER WD-0-002 - PROJECT LEGEND SHEET FOR ALL LEGENDS

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LANDSCAPE ARCHITECTURE
MASTERPLANNING

contractors must verify all dimensions on the job
before commencing work or making shop drawings

| Rev | Date | FOR CONSTRUCTION | Reason for Issue |
|-----|------------|------------------|------------------|
| 1 | 24/11/2023 | | |

TILLEY RECREATION PARK CLUBROOM
CITY OF TEA TREE GULLY
HANCOCK RD & YATALA VALE RD, FAIRVIEW PARK SA 5126
FIRST FLOOR PLAN

project no: 22-0436
scale: As indicated @ A1
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sheet no: WD-1-301 revision: 1

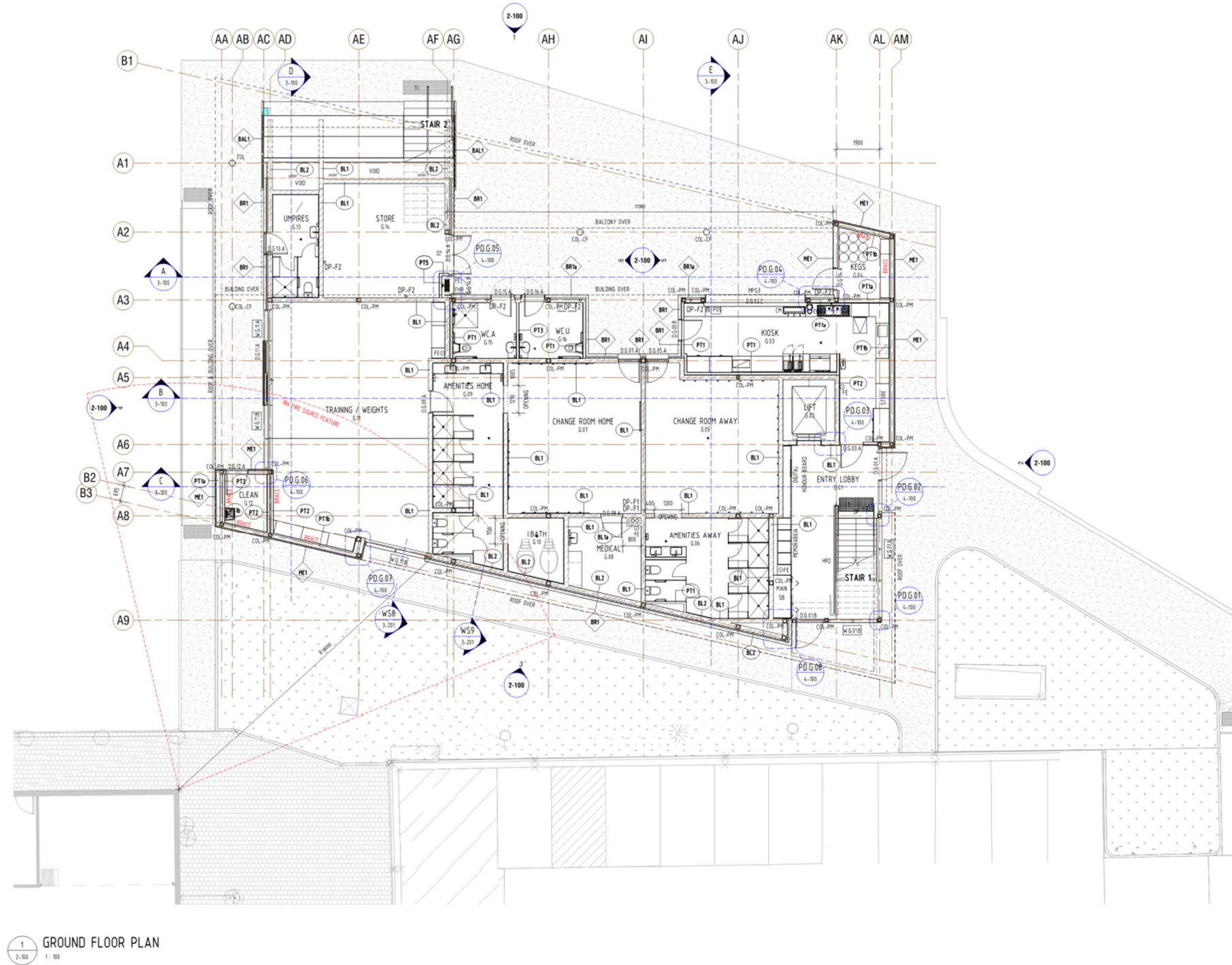
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level 9 25 Franklin st Adelaide SA 5000
telephone 8 8272 4166
email wba@walterbrooke.com.au
www.walterbrooke.com.au
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WALTERBROOKE





1 GROUND FLOOR PLAN
2-100 1:100

LEGEND - FLOOR PLAN

NO. 000001 FFL = Finished Floor Level, FSU=Finished Slab Level

D... door reference, refer to door schedule

W... typical window number, where "M" noted, mirror the configuration

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R... riser, refer services drawings

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LEGEND - WALLS / PARTITION NOTES

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GENERAL ANNOTATIONS SCHEDULE

| CODE | DESCRIPTION |
|--------|--|
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| COL-CP | Column Concrete Filled |
| COL-PM | Column with Premix Board Fire Rated Cladding |
| FE | Fire Extinguisher |
| TI | |

BALUSTRADES (PANELS) TYPE SCHEDULE

| CODE | DESCRIPTION |
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PARTITION TYPE SCHEDULE

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| PT1b | Mechture Barrier as spec/Thermal Insulation as spec / 150mm wide steel stud framing as spec / 150mm top hat framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT2 | 1 x 10mm flush villaboard unless otherwise noted as spec/Acoustic Insulation as spec / 12mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To finish 100mm above ceiling level, refer acoustic report for further details. Provide insulation as ceiling in accordance with acoustic engineer's specification. |
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| PT5 | 1 x 10mm flush Gyprock Fyrtex Plasterboard unless otherwise noted as spec/Acoustic Insulation as spec / 12mm wide steel stud framing as spec / 1 x 10mm flush villaboard unless otherwise noted as spec. | To finish 100mm above ceiling level, refer acoustic report for further details. Provide insulation as ceiling in accordance with acoustic engineer's specification. |

WALL TYPE SCHEDULE

| CODE | WALL DESCRIPTION |
|------|---|
| BL1 | 100mm wide concrete block wall to engineers details / |
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| BR1 | Single leaf 100mm wide brick wall / 40mm cavity / |
| BR1a | Single leaf 100mm wide brick wall / 10mm cavity / |
| ME1 | 25mm thick Metal Cladding as spec / 35mm top hat framing as spec / |
| TL1 | 20mm filling as spec / 175mm precast concrete panels to engineers details, standard grey finish / |

REFER WD-0-002 - PROJECT LEGEND SHEET FOR ALL LEGENDS

ARCHITECTURE - INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
MASTERPLANNING

contractors must verify all dimensions on the job before commencing work or making shop drawings

| Rev | Date | FOR CONSTRUCTION | Reason for Issue |
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| 1 | 24/11/2023 | FOR CONSTRUCTION | |

TILLEY RECREATION PARK CLUBROOM
CITY OF TEA TREE GULLY
HANCOCK RD & YATALA VALE RD, FAIRVIEW PARK SA 5126
GROUND FLOOR PLAN

project no: 22-0436
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level 9 25 Franklin St Adelaide SA 5000
telephone 8 8272 4166
email wba@walterbrooke.com.au
www.walterbrooke.com.au
ABN 42 007 918 914

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WALTERBROOKE



REFER WD-0-002 - PROJECT LEGEND SHEET FOR ALL LEGENDS

WALTER BROOKE

REDUCE WIDTH OF BALCONY ABOVE AND BRING STRUCTURAL GRID BACK 490mm TO ALIGN BELOW.

RISKS:
- Time/cost for architectural and structural redesign & redocumentation, including layout of umpires.

OPTION TO ONLY REDUCE PORTION OF FUNCTION ROOM, SHOWN IN YELLOW, AND CONTINUE ROOF OVERHANG ABOVE TO PROTECT ENTRIES BELOW.

RISKS:
- Time/cost for redesign & redocumentation of structure, ceiling layout, inc. services.

DELETE CORNER & EDGE OF FUNCTION ROOM AND CLEANERS STORE BELOW.

RISKS:
- Time/cost for significant redesign & redocumentation of roof overhang and Southern and Western facades.
- Removes cleaner store amenity
- Removal of roof overhang leaves no protection to Ground Floor external doors - risks to water proofing of building & ongoing maintenance issues.

-Impact on end users

DELETE COOL ROOM AND FLOOR AREA / STRUCTURE / SERVICES ASSOCIATED. REDUCE LENGTH OF BALCONY & KIOSK OPENING BELOW.

RISKS:
- Time/cost for significant redesign & redocumentation of balcony edge and roof overhang and Eastern facade.
- Additional costs to return balustrade to balcony. Extend brickwork across facade etc. will offset overall saving.
- Retro fit / external cool room and kegg room added to site by club

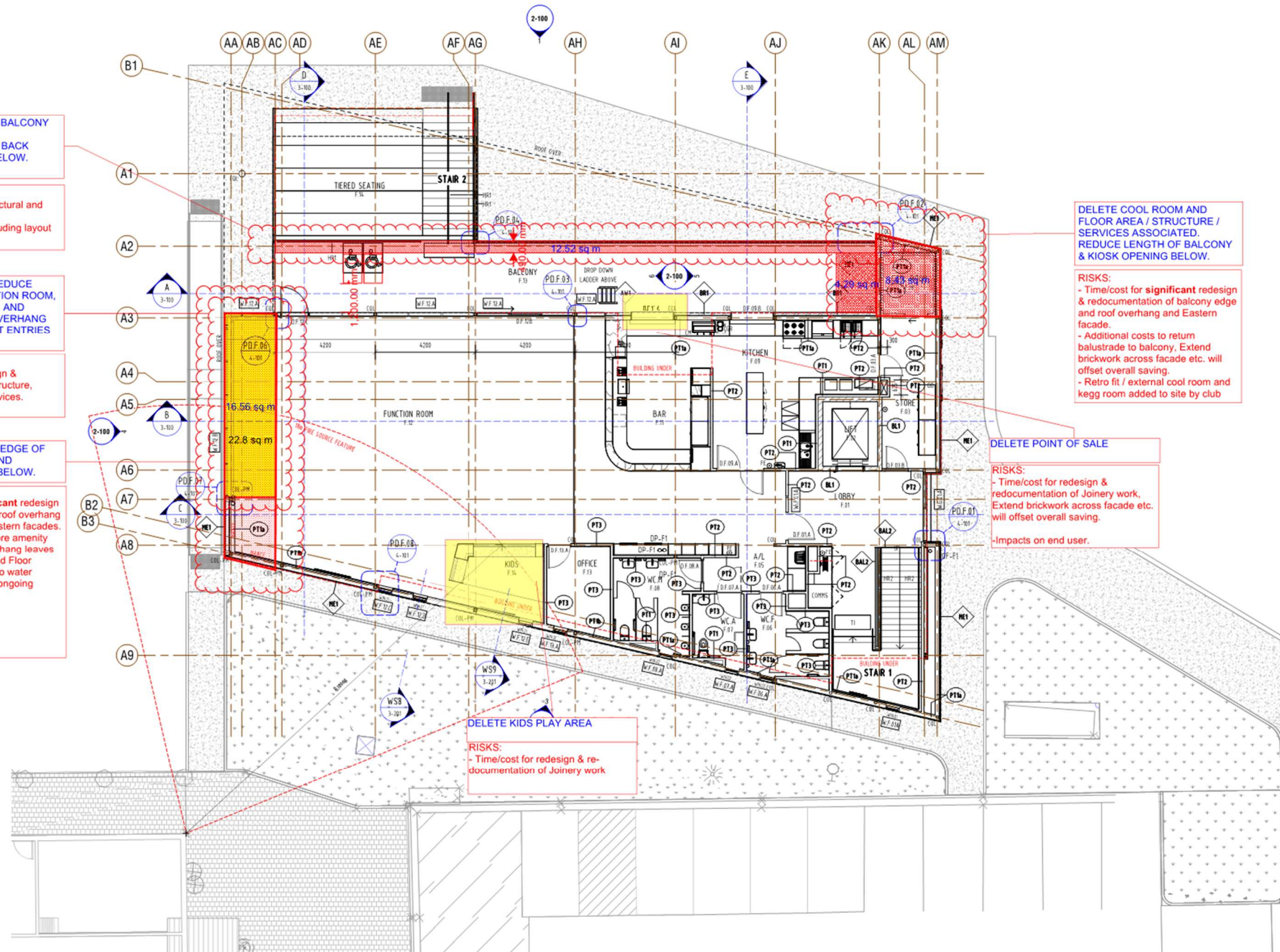
DELETE POINT OF SALE

RISKS:
- Time/cost for redesign & redocumentation of Joinery work. Extend brickwork across facade etc. will offset overall saving.

-Impacts on end user.

DELETE KIDS PLAY AREA

RISKS:
- Time/cost for redesign & redocumentation of Joinery work



1 FIRST FLOOR PLAN
1:100

| LEGEND - FLOOR PLAN | |
|---|--|
| | F.F.L. = Finished Floor Level, F.S.L./Finished Slab Level |
| | Door reference, refer to door schedule |
| | Typical window number, where "T" noted, mirror the configuration external window reference, refer to window schedule |
| | internal window reference, full height UMD refer to internal elevations |
| | riser, refer services drawings |
| NOTES: | |
| 1. | Refer to services drawings to confirm all duct clearances prior to construction. |
| 2. | Refer to services drawings to confirm all roof/wall/slab penetrations. Provide all necessary flashings/sealants to ensure waterproof seal. |
| 3. | Wet Areas noted are to include bathrooms, showers, WC, kitchen, laundries, cleaners and shower/changing areas or similar. |
| 4. | Refer to Mechanical & Hydraulic Engineer's drawings for location of all handshakes. |
| 5. | Refer to Internal Elevations Legend for Features & Fixings/Equipment codes. |
| Services: | |
| Coordinate all services, stacks, vents, handshakes, equipment and associated penetrations on site. Coordinate locations and numbers with services engineers drawings. | |
| Typical Door Setout for Rooms | |
| | |
| Note: Contractor to clarify dimension to doors dissimilar to above if not already provided | |

| GENERAL ANNOTATIONS SCHEDULE | |
|------------------------------|--|
| CODE | DESCRIPTION |
| COL | Columns |
| COL-PM | Columns With Perimeter Board Fire Rated Cladding |
| FI | Fire Extinguisher |

| PARTITION TYPE SCHEDULE | | |
|------------------------------|---|---|
| CODE | PARTITION DESCRIPTION | NOTES |
| PT1 | Structure Barrier as spec/Thermal insulation as spec. / 50mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of floor / slab above |
| PT1a | Structure Barrier as spec/Thermal insulation as spec. / 50mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of floor / slab above |
| PT1b | Structure Barrier as spec/Thermal insulation as spec. / 50mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of floor / slab above |
| PT2 | 1 x 9mm flush villaboard unless otherwise noted as spec./ Acoustic insulation as spec. / 50mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To fresh fill/ten above ceiling level, refer acoustic report for further details. Provide insulation in ceiling in accordance with acoustic engineer's specification. |
| PT3 | 2 x 9mm flush villaboard unless otherwise noted as spec./ Acoustic insulation as spec. / 50mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of floor / slab above, refer acoustic report for further details. |
| PT4 | 50mm non wide polystyrene/insulated ceiling panel by specialist contractor | 2x10 high to underside of insulated ceiling. Provide insulation in ceiling in accordance with acoustic engineer's specification. |
| PT5 | 1 x 9mm flush Gypsum Fyreshek Plasterboard unless otherwise noted as spec./ Acoustic insulation as spec. / 50mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To fresh fill/ten above ceiling level, refer acoustic report for further details. Provide insulation in ceiling in accordance with acoustic engineer's specification. |
| Signage Type Schedule | | |
| CODE | DESCRIPTION | |
| SG1 | Minimal type 1 as spec. | |
| SG2 | Minimal type 2 as spec. | |

| BALUSTRADES (PANELS) TYPE SCHEDULE | |
|------------------------------------|---|
| CODE | DESCRIPTION |
| BAL1 | coarse steel balustrade with glass infill as detailed |
| BAL2 | fine non thick steel plate balustrade as detailed |

REDUCTION IN FLOOR AREA MARKUP.

2023-12-06_WBA_IH

NOT FOR CONSTRUCTION.

REFER WD-0-002 - PROJECT LEGEND SHEET FOR ALL LEGENDS

ARCHITECTURE - INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
MASTERPLANNING

contractors must verify all dimensions on the job before commencing work or making shop drawings

| Rev | Date | Reason for Issue |
|-----|------------|------------------|
| 1 | 24/11/2023 | FOR CONSTRUCTION |

TILLEY RECREATION PARK CLUBROOM
CITY OF TEA TREE GULLY
HANCOCK RD & YATALA VALE RD, FAIRVIEW PARK SA 5126
FIRST FLOOR PLAN

project no: 22-0436
scale: As indicated @ A1
date: 5/05/2023
drawn: MF
sheet no: WD-1-301 revision: 1

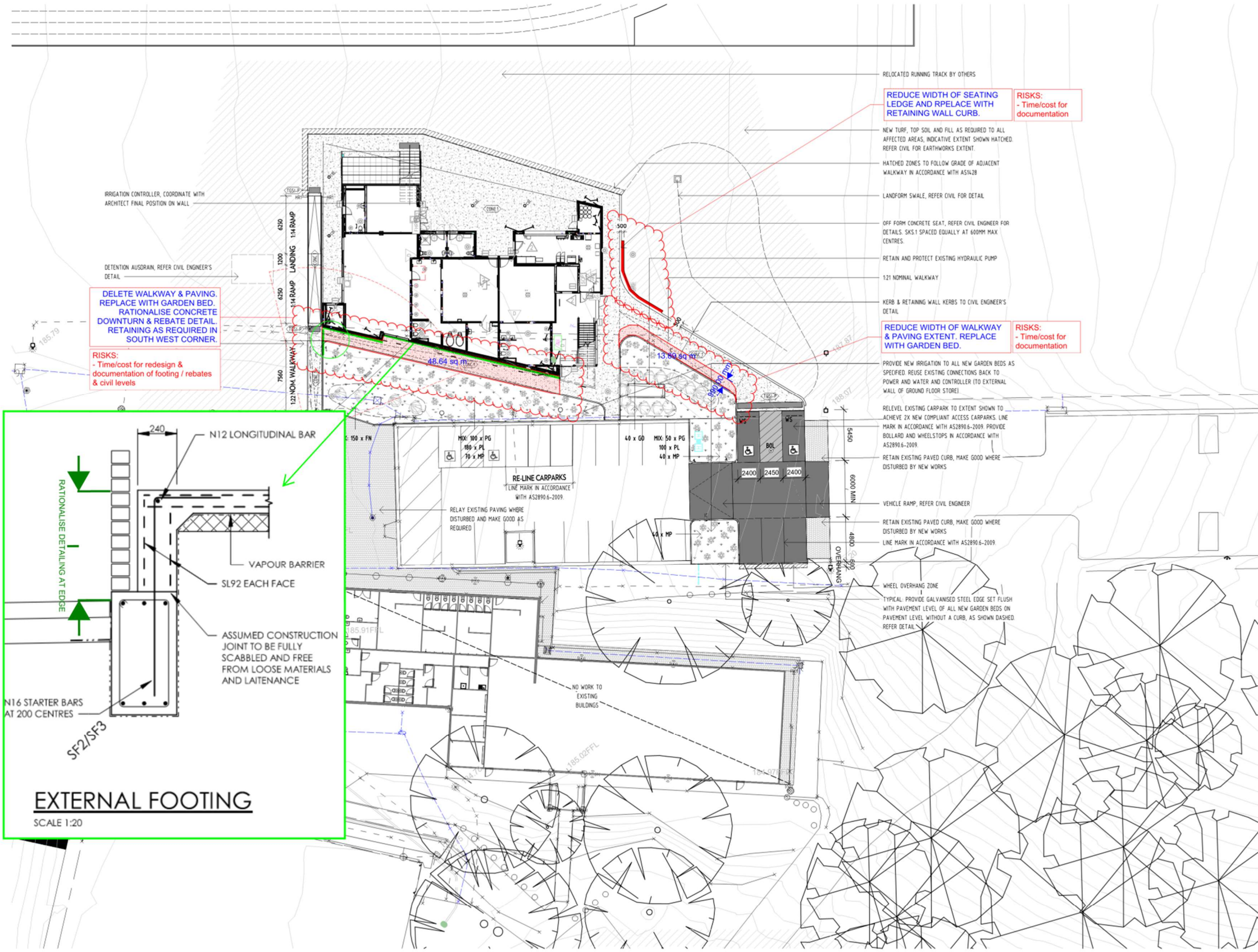
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© walterbrooke and associates pty ltd
level 9 25 transfer at Adelaide SA 5000
telephone 813774166
email wba@walterbrooke.com.au
www.walterbrooke.com.au
A010-42 537 218 514



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| LEGEND - SITE | |
|---------------|--|
| CODE | DESCRIPTION |
| CU | Concrete Upstand |
| FK | Flush Kerb |
| GP | Grated Inlet Pit |
| K | Kerb |
| KSW | Kerb & Water Table |
| KS | Kerb Ramp |
| LM | Line Marking |
| MWS | Mowing Strip |
| SEP | Side Entry Pit |
| SPD | Spill Drain |
| STP | Storm Water Pipe |
| SWP | Storm Water Pit |
| IC | Irrigation Conduit, indicate location, refer eng details |
| BOL | Bollard |
| WS | Wheel Stop |
| HR | Handrail |
| SKS | Skate Board Deterrent |

| SITE PAVING & LANDSCAPE SCHEDULE | |
|----------------------------------|--|
| CODE | DESCRIPTION |
| BT | Paving as spec |
| CNCL | Paving type 1, as spec |
| CARDEN | Landscape |
| GRASS | Grass as spec |
| PAV1 | Joint paving on compacted base, as spec. Refer to Civil Drawings |
| RAWK | Paving type 1, as spec |
| TSD-P | Paving as spec |

| LEGEND - PLANTING | | |
|---|----------------------|----------------------|
| SOFT PLANTING BY COUNCIL | | |
| PLANTING SCHEDULE | | |
| 1. Where multiple species of plants noted in a planting bed, cluster 3-5 single species plants and mix randomly. | | |
| 2. Set out on site to be confirmed by landscape architect. | | |
| 3. 3 plants per square metre unless noted otherwise. | | |
| 4. Offset planting to ensure no straight lines unless noted otherwise. | | |
| 5. No plants closer than 300mm to kerb edge and paved surface. | | |
| 6. Refer to Soft Planting Schedule. | | |
| CODE | SCIENTIFIC NAME | COMMON NAME |
| FN | Ficus indica | Kashy Club-rubi |
| GO | Gonolobus ovalis | Hop Goodenia |
| MP | Myoporum Parvifolium | Creeping Boobialla |
| PG | Pyroseris globosus | Drumsticks |
| PL | Poa labillardieri | Common Tussock Grass |
| OBLIGATION | | |
| 1. Contractor to provide 'design and construct' sub-surface irrigation system to all new planting beds. Irrigation controller to be located in maintenance / store room or in a lockable inground garden box. | | |
| 2. Contractor to ensure any existing irrigation is maintained throughout construction phase. | | |

REDUCTION IN LANDSCAPE SCOPE MARKUP.

2023-12-06_WBA_IH
NOT FOR CONSTRUCTION.

ARCHITECTURE - INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
MASTERPLANNING

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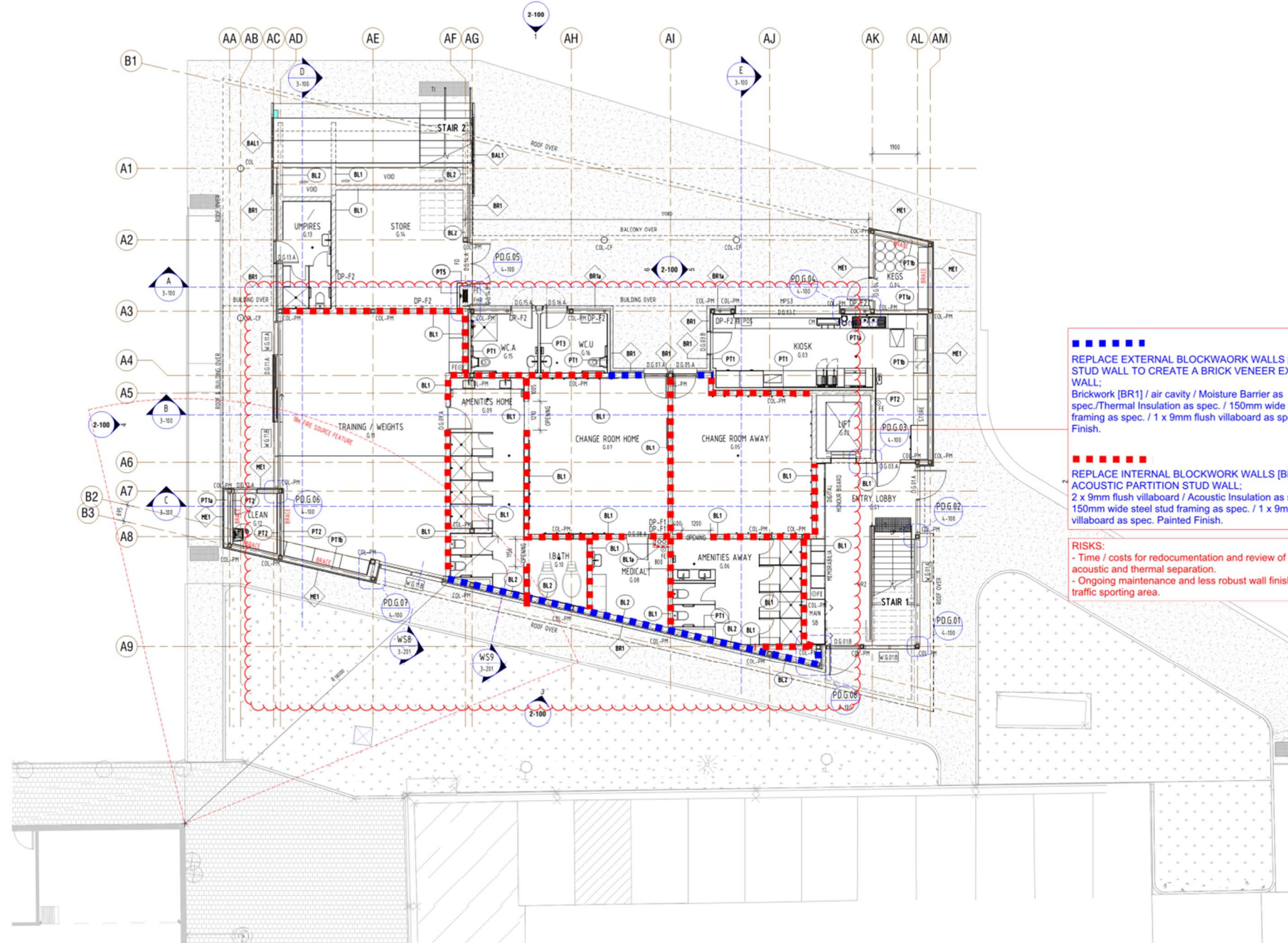
| Rev | Date | FOR CONSTRUCTION | Reason for Issue |
|-----|------------|------------------|------------------|
| 1 | 24/11/2023 | | |

TILLEY RECREATION PARK CLUBROOM
CITY OF TEA TREE GULLY
HANCOCK RD & YATALA VALE RD, FAIRVIEW PARK SA 5126
SITE & LANDSCAPING PLAN

project no: 22-0436
scale: 1 : 200 @ A1
date: 5/05/2023
drawn: IH
sheet no: WD-1-101 revision: 1

FOR CONSTRUCTION
© walterbrooke and associates pty ltd
level 9 25 franklin st Adelaide SA 5000
telephone 8182 7272 4166
email wba@walterbrooke.com.au
www.walterbrooke.com.au
ABN 42 007 918 914

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1 GROUND FLOOR PLAN
1:100

CHANGE TO BLOCKWORK WALLS MARKUP.

2023-12-06_WBA_IH

NOT FOR CONSTRUCTION.

REPLACE EXTERNAL BLOCKWORK WALLS [BL2] WITH STUD WALL TO CREATE A BRICK VENEER EXTERNAL WALL:
Brickwork [BR1] / air cavity / Moisture Barrier as spec. / Thermal Insulation as spec. / 150mm wide steel stud framing as spec. / 1 x 9mm flush villaboard as spec. Painted Finish.

REPLACE INTERNAL BLOCKWORK WALLS [BL1] WITH ACOUSTIC PARTITION STUD WALL:
2 x 9mm flush villaboard / Acoustic Insulation as spec. / 150mm wide steel stud framing as spec. / 1 x 9mm flush villaboard as spec. Painted Finish.

RISKS:
- Time / costs for redocumentation and review of impact to acoustic and thermal separation.
- Ongoing maintenance and less robust wall finish to high traffic sporting area.

LEGEND - FLOOR PLAN

FFL

FFL = Finished Floor Level, FSL=Finished Slab Level

D

door reference, refer to door schedule

WN

typical window number, where "M" noted, mirror the configuration

W

external window reference, refer to window schedule

WI

internal window reference, full height UND refer to internal elevations

R

riser, refer services drawings

NOTES

1

Refer to services drawings to confirm all duct clearances prior to construction.

2

Refer to services drawings to confirm all roof/wall/slab penetrations. Provide all necessary flashings/valants to ensure waterproof seal.

3

Wet Areas noted are to include bathrooms, ensuites, WC, kitchen, laundries, cleaners and shower/changeroom areas or similar.

4

Refer to Mechanical & Hydraulic Engineer's drawings for location of all handoffs.


5

Refer to Internal Elevations Legend for Features & Finings/Equipment codes.

Services

Coordinate all services, stacks, vents, furnishings, equipment and associated penetrations on site. Coordinate locations and numbers with services engineers drawings.

Typical Door Setout for Rooms



Note: Contractor to clarify dimension to doors dissimilar to above if not already provided.

LEGEND - WALLS / PARTITION NOTES

Wall / Partition Types

No internal linings to wall & partition types when adjacent a duct, riser, void, shaft, cavity or fire cabinet.

1 layer of fibre cement sheeting to be direct stuck to blockwork to the following rooms:
G06 AMENITIES AWAY
G09 AMENITIES HOME
G10 BATH
G13 UMPIRES
G15 WEA
G16 WEA

Fibre cement sheeting can be substituted for plasterboard in the following rooms:
F01 LOBBY
F03 STORE
F10 FUNCTION ROOM
F13 OFFICE

Contractor to coordinate wall & partition types setout and allow for packing/furring channel, to ensure alignment to all internal and external linings.

Wall Bracing

Provide top of wall stabilisation / bracing to internal walls, typically Refer to structural engineers details for bracing requirements.

GENERAL ANNOTATIONS SCHEDULE

| CODE | DESCRIPTION |
|--------|---|
| COL | Column |
| COL-CP | Column Concrete Filled |
| COL-PH | Column with Precast Board Fire Rated Cladding |
| FE | Fire Extinguisher |
| TI | |

BALUSTRADES (PANELS) TYPE SCHEDULE

| CODE | DESCRIPTION |
|------|---|
| BAL1 | Custom steel balustrade with glazed infills as detailed |
| BAL2 | 100mm non thick steel plate balustrade as detailed |

PARTITION TYPE SCHEDULE

| CODE | PARTITION DESCRIPTION | NOTES |
|------|--|---|
| PT1 | Moisture Barrier as spec. / Thermal Insulation as spec. / 120mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT1a | Moisture Barrier as spec. / Thermal Insulation as spec. / 150mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT1b | Moisture Barrier as spec. / Thermal Insulation as spec. / 150mm wide steel stud framing as spec. & 100mm top hat framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above |
| PT2 | 1 x 9mm flush villaboard unless otherwise noted as spec. / Acoustic Insulation as spec. / 120mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To finish 100mm above ceiling level, refer acoustic report for further details. Provide insulation as ceiling in accordance with acoustic engineer's specification. |
| PT3 | 2 x 9mm flush villaboard unless otherwise noted as spec. / Acoustic Insulation as spec. / 120mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To underside of Roof / slab above, refer acoustic report for further details. |
| PT5 | 1 x 100mm Gypsum Furrich Plasterboard unless otherwise noted as spec. / Acoustic Insulation as spec. / 120mm wide steel stud framing as spec. / 1 x 9mm flush villaboard unless otherwise noted as spec. | To finish 100mm above ceiling level, refer acoustic report for further details. Provide insulation as ceiling in accordance with acoustic engineer's specification. |
| CODE | WALL TYPE SCHEDULE | WALL DESCRIPTION |
| BL1 | 150mm wide concrete block wall to engineers details / | |
| BL1a | 150mm wide concrete block wall to engineers details / | |
| BL2 | 150mm wide concrete block wall to engineers details / 50mm rigid board insulation as spec. / | |
| BR1 | Single leaf 100mm wide brick wall / 40mm cavity / | |
| BR1a | Single leaf 100mm wide brick wall / 100mm cavity / | |
| ME1 | 25mm non thick Metal Cladding as spec. / 35mm top hat framing as spec. / | |
| TL1 | 20mm lining as spec. / 175mm precast concrete panels to engineers details, standard grey finish / | |

REFER WD-0-002 - PROJECT LEGEND SHEET FOR ALL LEGENDS

ARCHITECTURE - INTERIOR DESIGN
LANDSCAPE ARCHITECTURE
MASTERPLANNING

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| 1 | 24/11/2023 | | |

TILLEY RECREATION PARK CLUBROOM

CITY OF TEA TREE GULLY
HANCOCK RD & YATALA VALE RD, FAIRVIEW PARK SA 5126

GROUND FLOOR PLAN

project no: 22-0436

scale: As indicated @ A1

date: 5/05/2023

drawn: MF

sheet no: WD-1-300

revision: 1

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email wba@walterbrooke.com.au
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